

# Disclaimer

For the purposes of this presentation, some of the application plans may have been cropped to enable a clearer display of detailed areas of the proposed development.

Further information regarding planning applications, including the original plans, can be viewed at:

[Aberdeenshire Council](#)

[Angus Council](#)

[Highland Council](#)

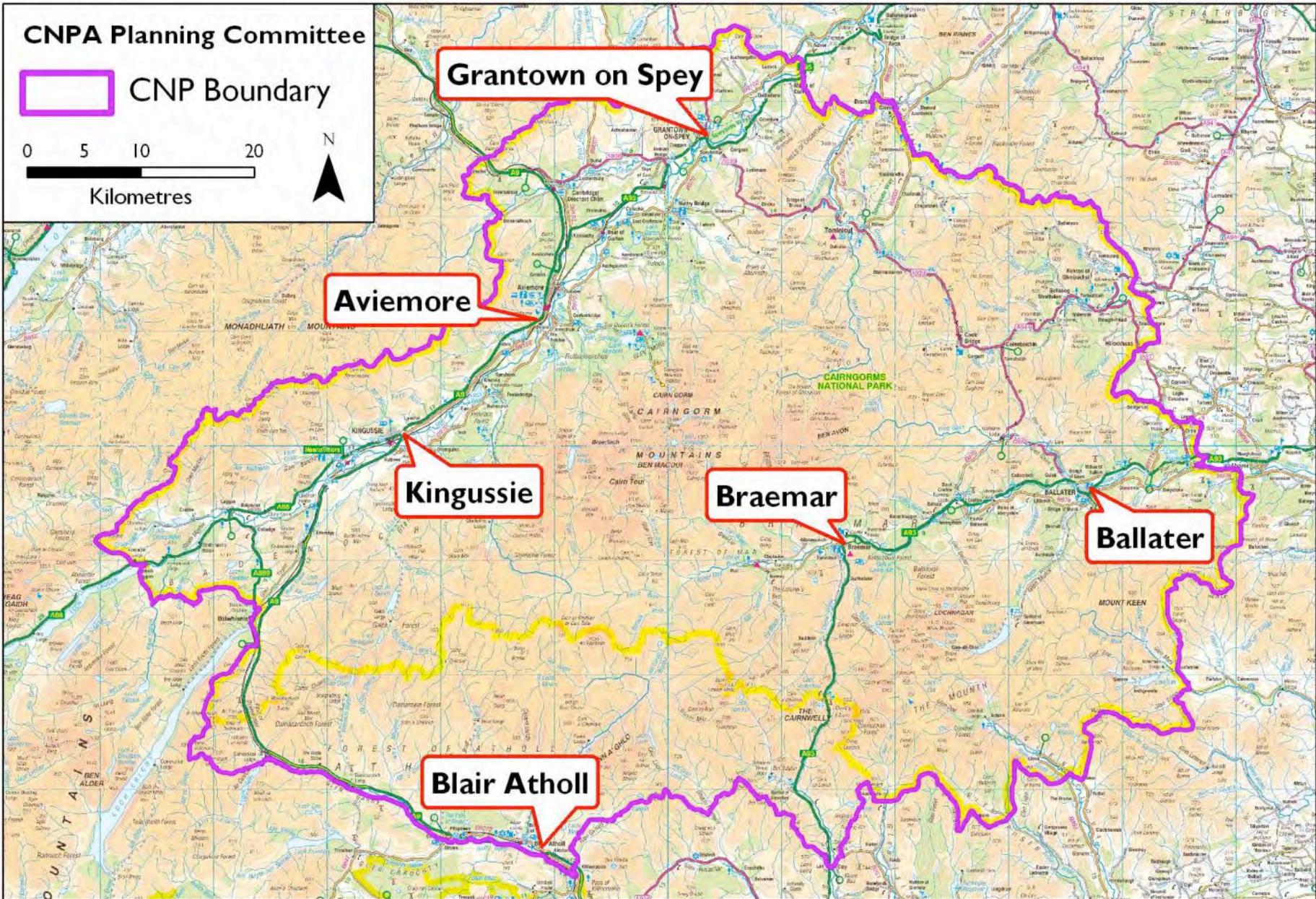
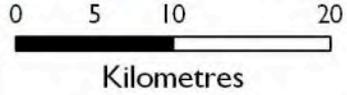
[Moray Council](#)

[Perth & Kinross Council](#)

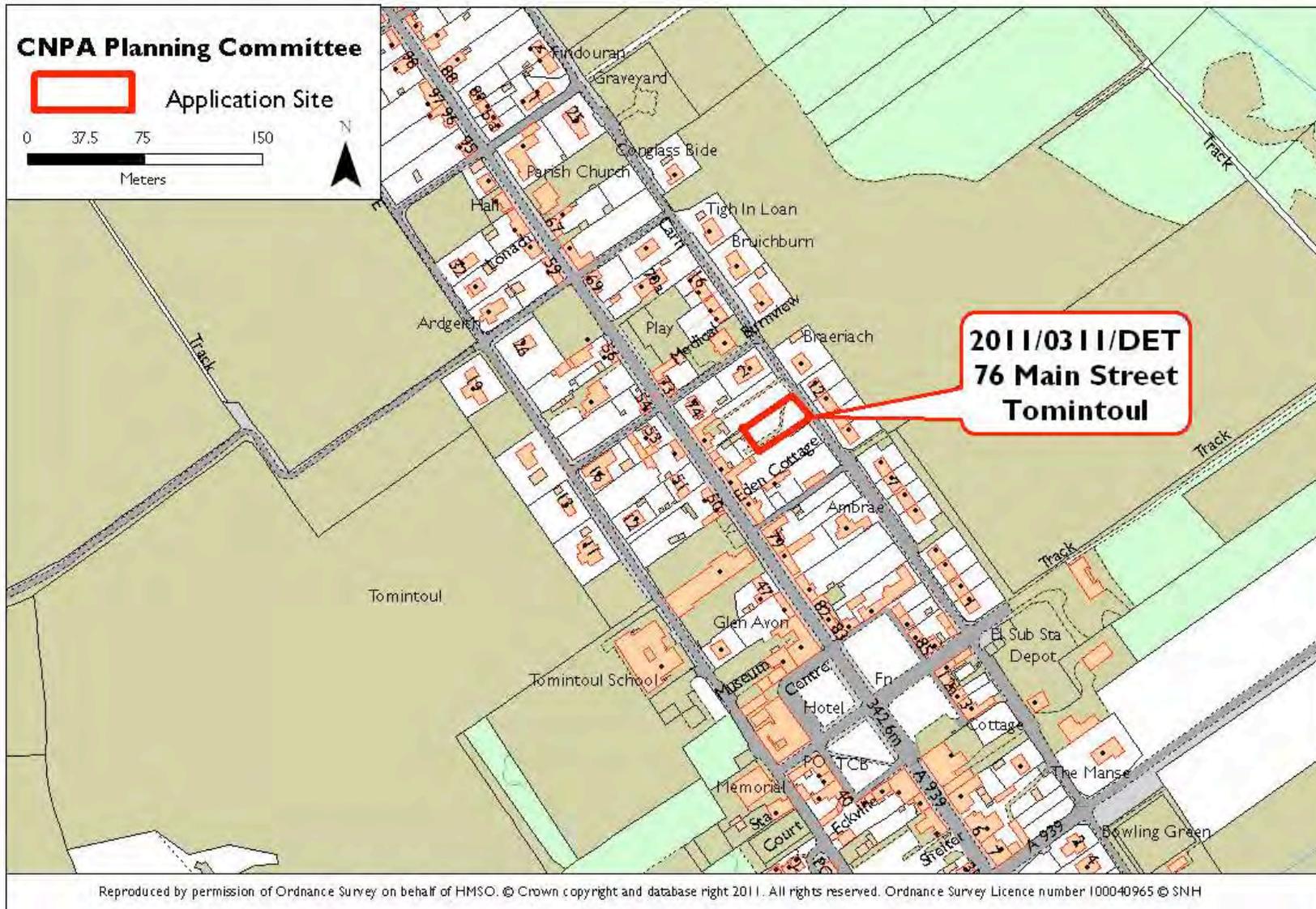
Website links in this presenter are for your convenience to provide further information. These websites are not under the control of the CNPA and we are not responsible for the contents or availability of any other websites to which we provide a link.

CNPA Planning Committee

 CNP Boundary



Reproduced by permission of Ordnance Survey on behalf of HMSO. © Crown copyright and database right 2010. All rights reserved. Ordnance Survey Licence number 100040965. © Scottish Government.



Applicant(s):

Ms J E Fifield & Ms E Bartlett

Proposal:

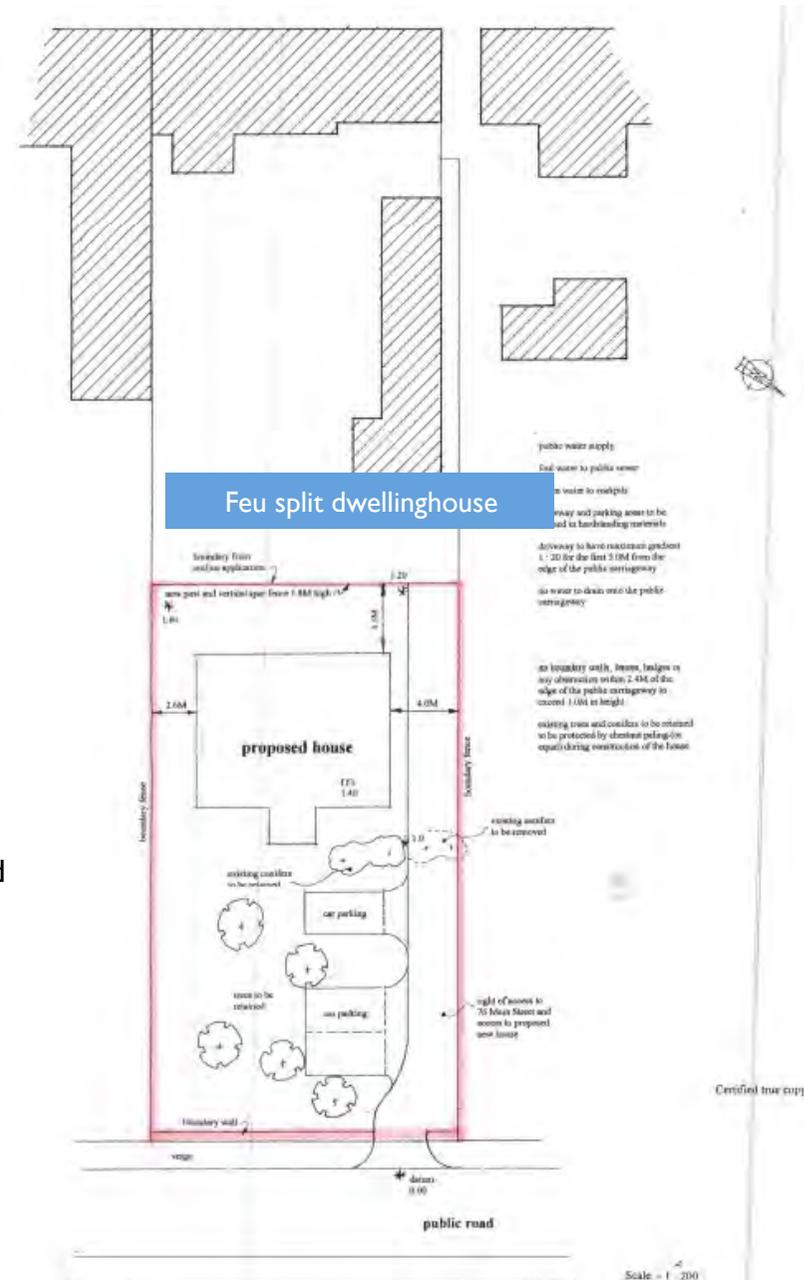
Extend Planning Consent 06/02297/FUL for further 3 Years for the Erection of House to Rear

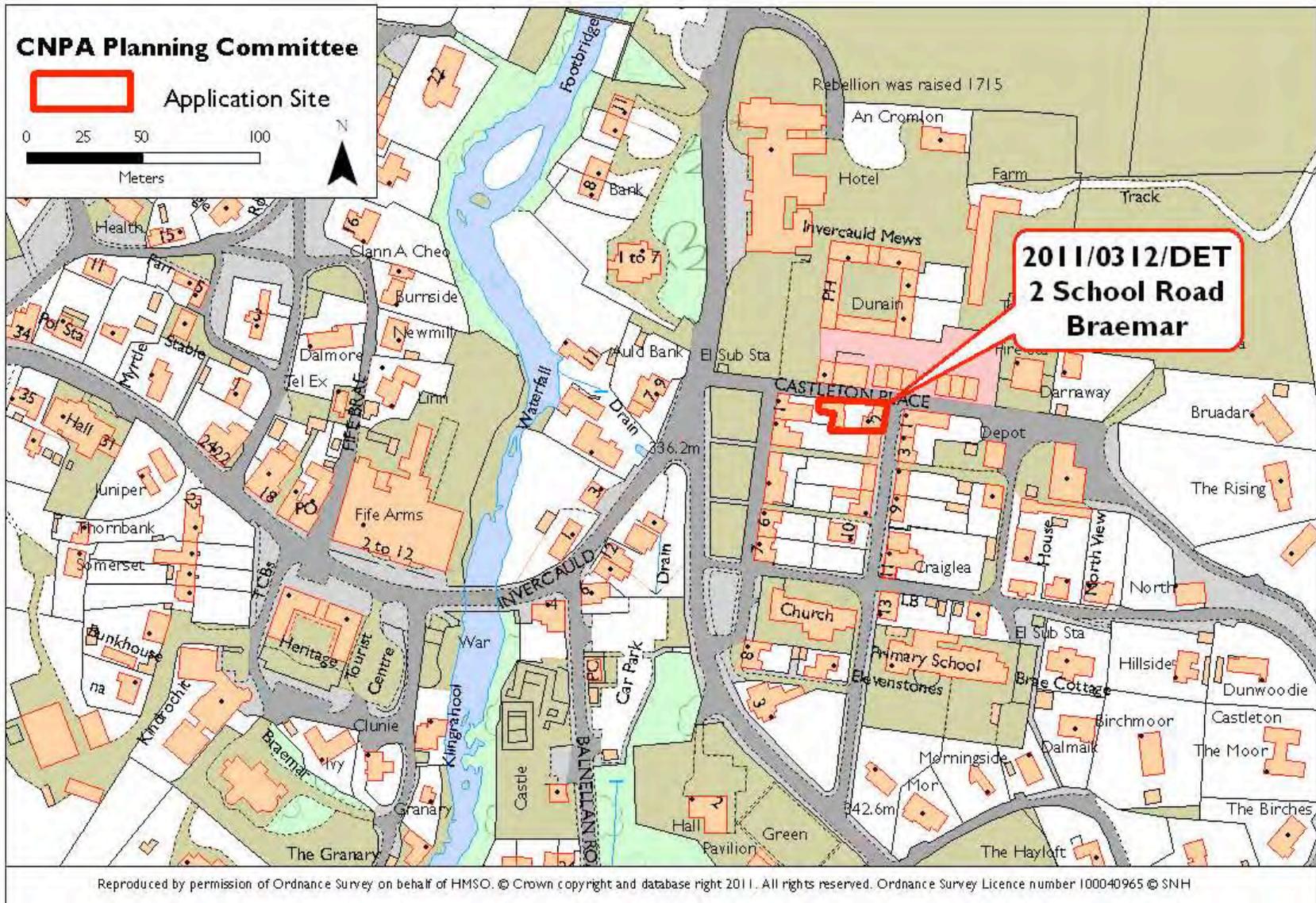
## KEY POINTS

- Proposal seeks renewal of existing planning permission in principle (06/02297/FUL) for erection of detached dwellinghouse within the rear garden grounds of end- terraced house in Tomintoul;
- Feu split with consent within settlement boundary, this is not considered to raise issues of general significance.

## RECOMMENDATION: NO CALL-IN

[View Planning Application](#)



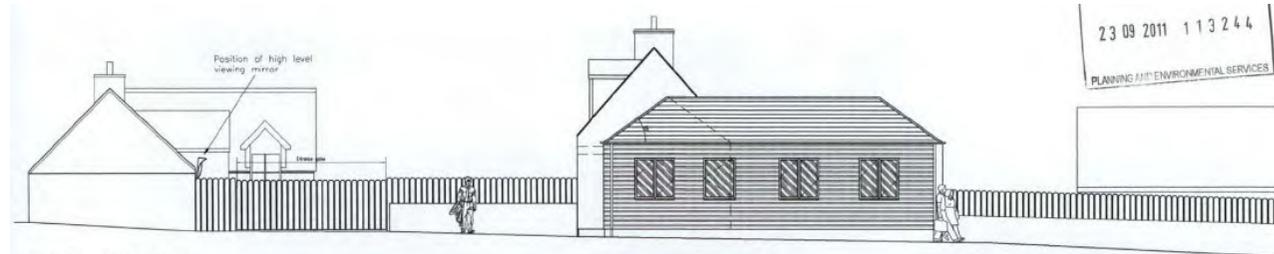


Applicant(s):

Mr & Mrs D Stewart

Proposal:

Removal of Conditions 12 & 13 (Boundary Wall & Ancillary Usage) of Planning Permission Ref.: M/APP/2009/0967



North Elevation

APPLICANT SET



Mirror View



View 1



View 2



View 4



View 3

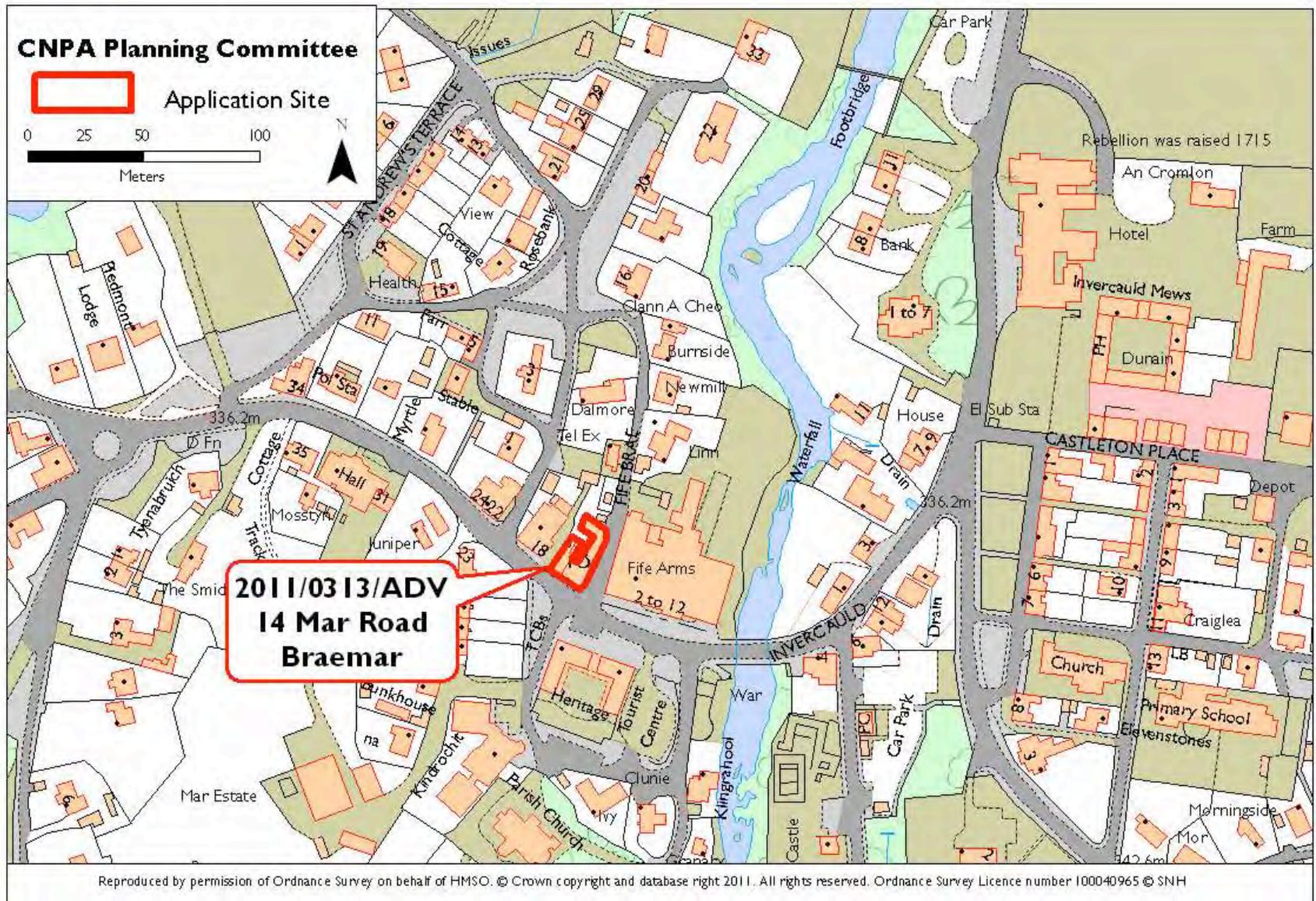
S.42 Applications for alteration to suspensive conditions

## KEY POINTS

- Site located within Braemar;
- Proposal for alteration of conditions for boundary treatments and lifting of domestic occupancy restriction on a small cottage annexe imposed on previous planning permission;
- Proposal relates to domestic changes and alterations within a settlement and is not considered to raise issues of general significance

**RECOMMENDATION: NO CALL-IN**

[View Planning Application](#)



Applicant(s): Mr D Nixon  
 Proposal: Erection of Signage

Replacement signage for former 'Alldays' store in Braemar



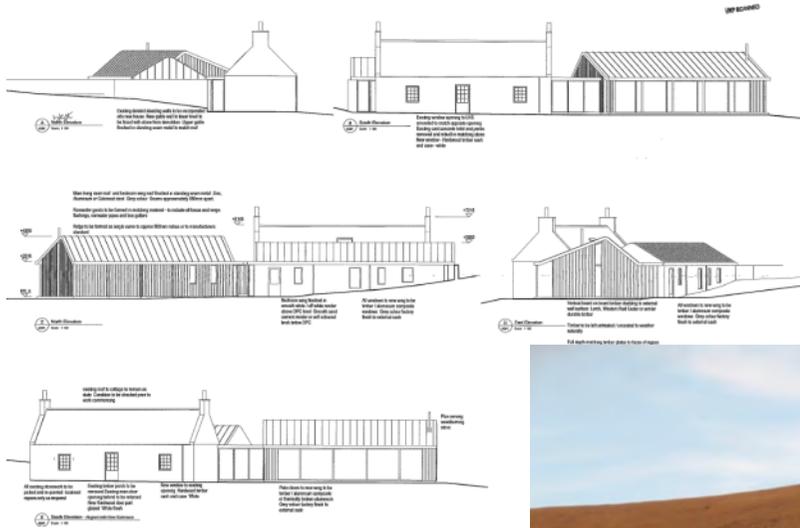
### KEY POINTS

- Site located in Braemar;
- Advertisement Consent for new signage to existing foodstore;
- Minor external alterations required only;
- Proposal not considered to raise issues of general significance

**RECOMMENDATION: NO CALL-IN**

[View Planning Application](#)





Proposed elevations and site plan

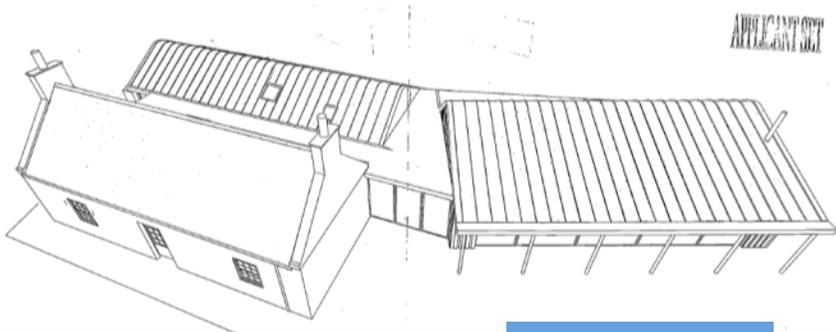


**KEY POINTS**

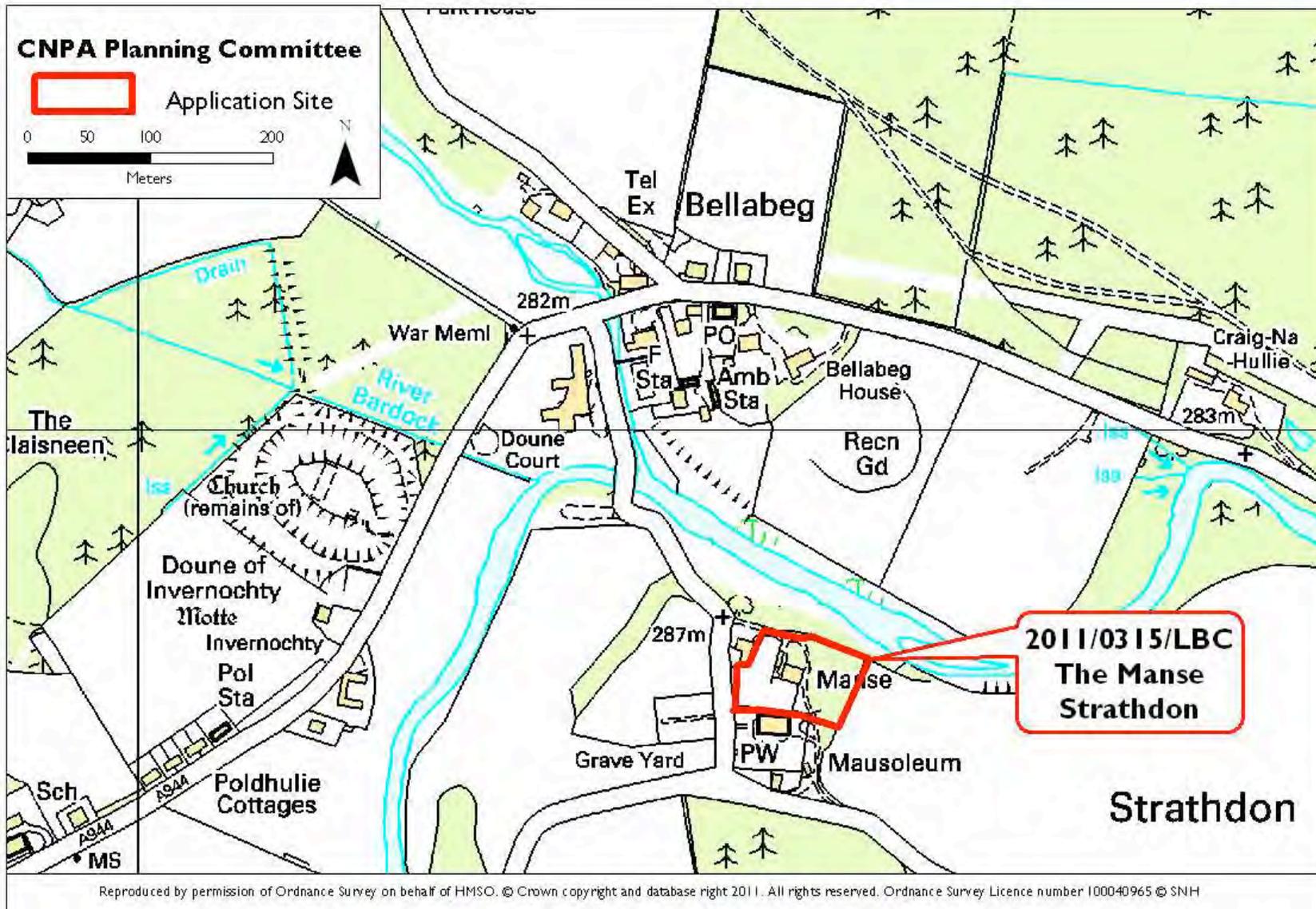
- Site located at Drumnagarrow, Glenbuchat;
- Planning permission sought for alterations and extension of existing cottage and change of use of agricultural land for garden ground;
- Alterations include modern extension to compliment;
- Proposal not considered to raise issues of general significance

**RECOMMENDATION: NO CALL-IN**

[View Planning Application](#)

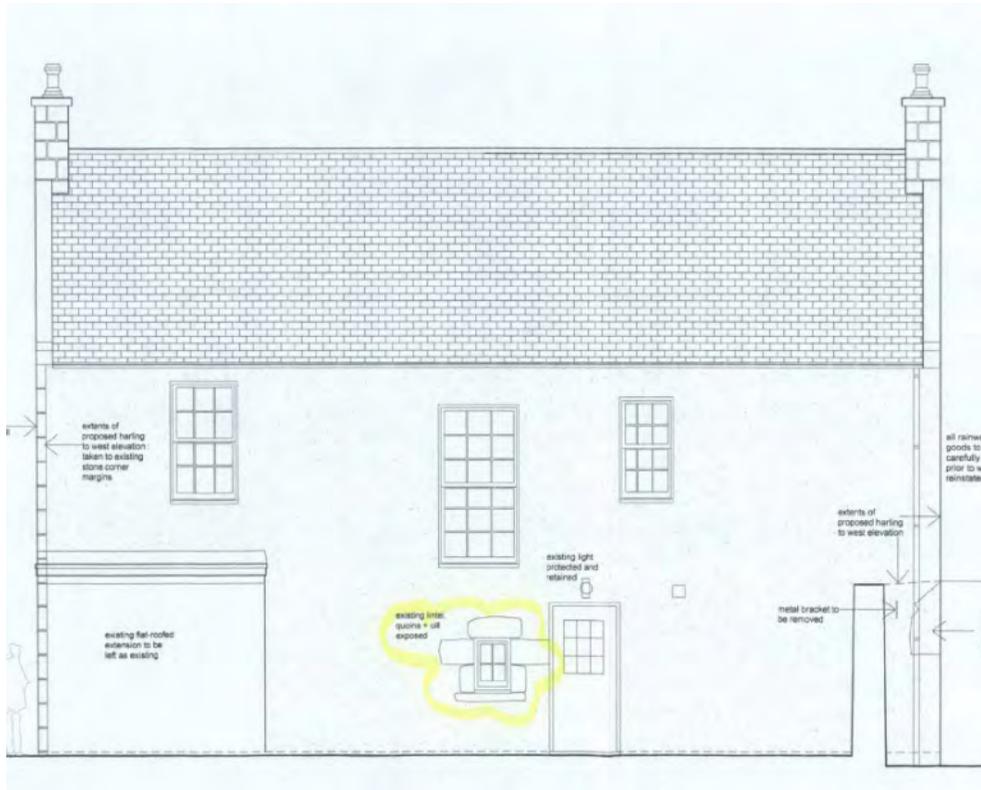


3D perspective showing relationship



Applicant(s): Richard Stroud

Proposal: Re-harling Works to Expose Exterior Window Surround



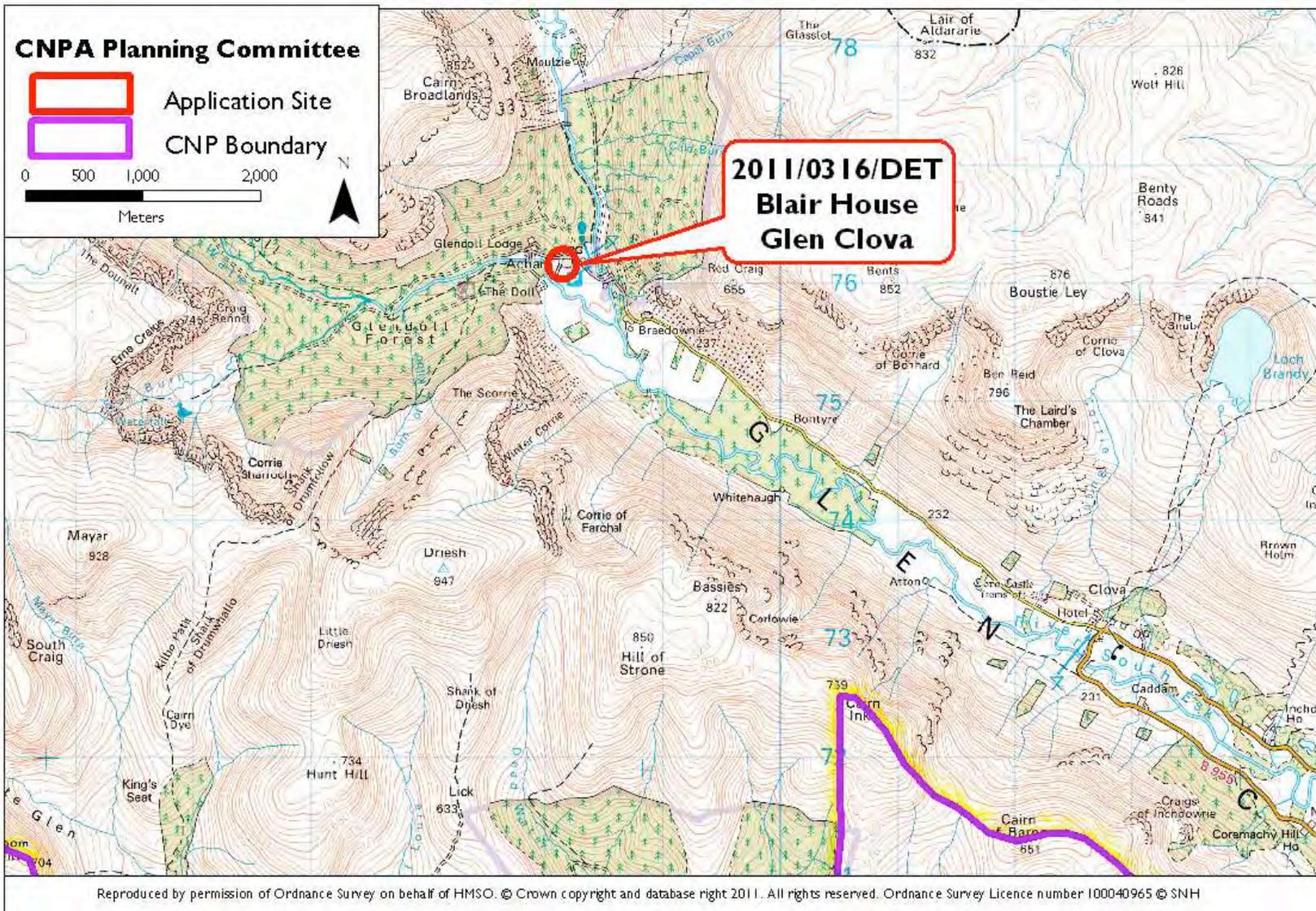
Proposed re-harling works (rear only)

### KEY POINTS

- Listed Building Consent sought for re-harling works around window openings to Manse;
- Proposal relates to minor domestic alterations and not considered to raise issues of general significance

**RECOMMENDATION: NO CALL-IN**

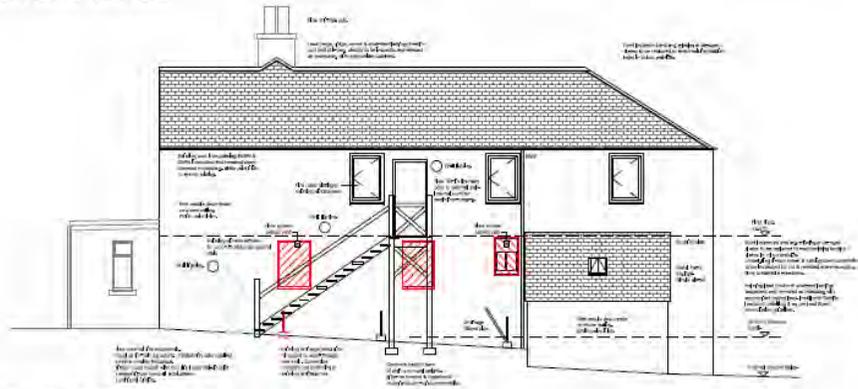
[View Planning Application](#)



Applicant(s): Edinburgh Academy  
 Proposal: Refurbishment of Existing Blair House Property



SOUTH ELEVATION C - PROPOSED



WEST ELEVATION D - PROPOSED



1. North elevation to adjoining neighbouring property.



2. North elevation to entrance



4. East elevation



5. South elevation to rear entrance and existing path & porch

Proposed refurbishment works



3. North West corner - West elev location for new proposed escape stair.

### KEY POINTS

- Site located within Glen Clova – existing outdoor education residential lodge for Edinburgh Academy;
- Proposal for various refurbishment works, landscaping and replacement porch ;
- Proposal for minor alterations and is not considered to raise issues of general significance

**RECOMMENDATION: NO CALL-IN**

[View Planning Application](#)

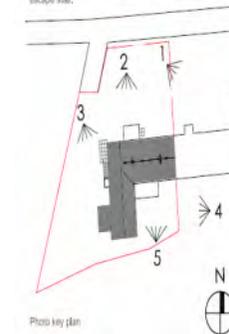
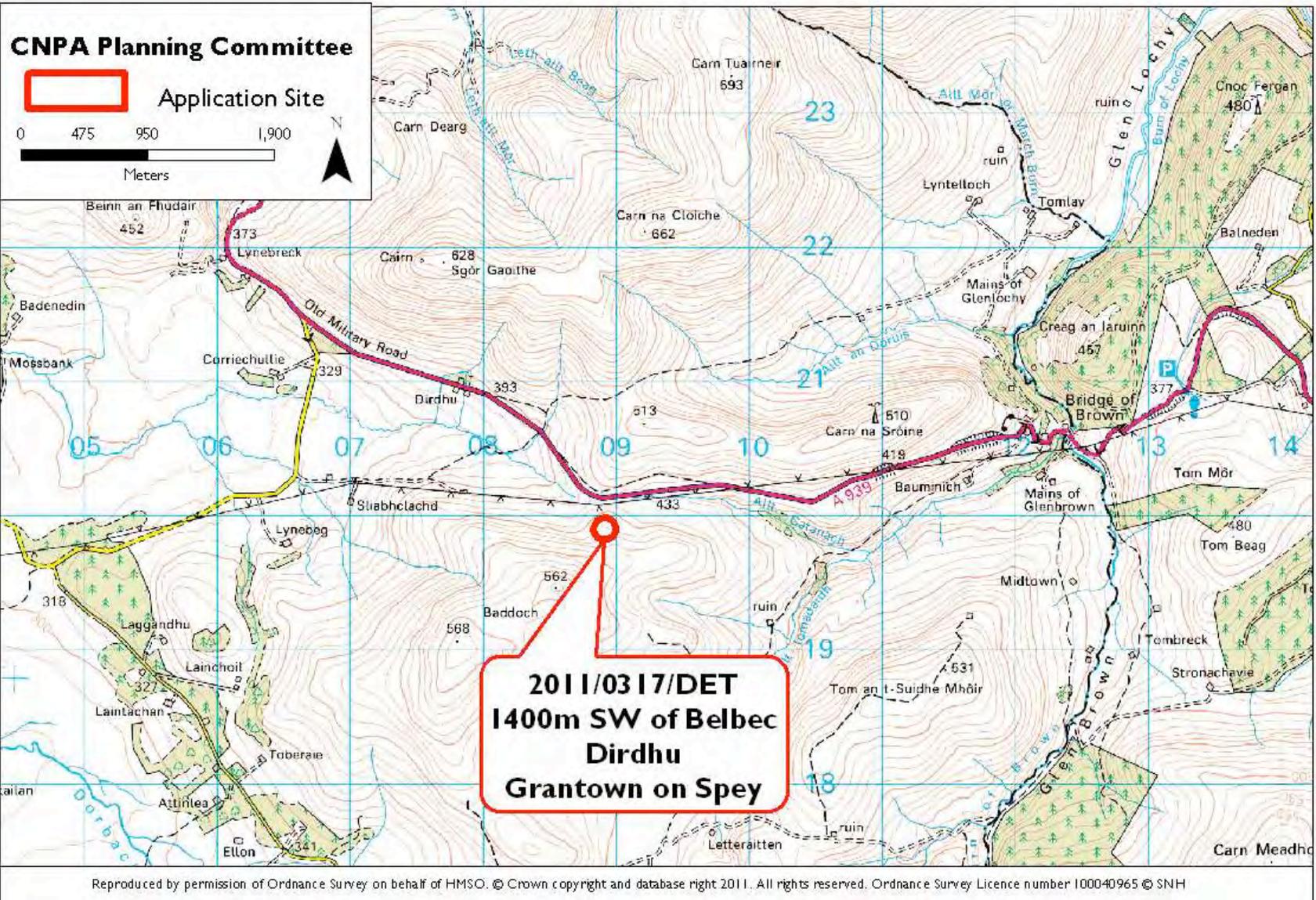
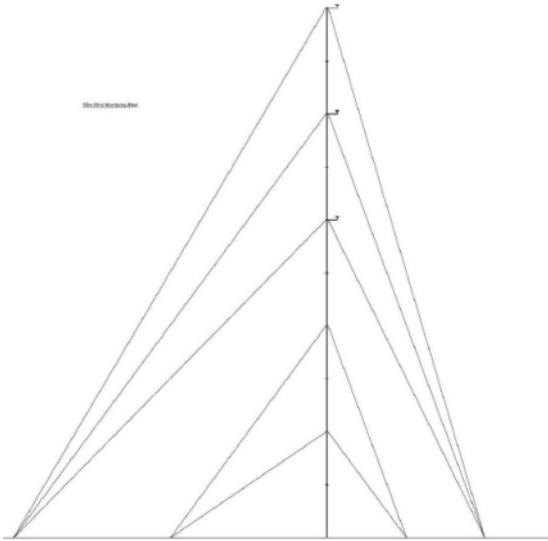


Photo key plan



Applicant(s): Nethy Bridge Community Development Company  
 Proposal: Erection of Temporary Anemometer Mast



Proposed wind measuring mast at Corriechullie: please note the exact position is to the left of this area



#### **KEY POINTS :**

- Planning permission is sought for the erection of a 50 metre high temporary mast in order to monitor wind data;
- Permission is sought for a period of up to 3 years;
- The wind measuring mast is a temporary structure on land at Corriechullie Farm in the vicinity of the A939. The height is fairly considerable, in an open and sensitive landscape, it is considered to give rise to potentially significant visual impact. Having regard to all of those factors, the proposal is considered to raise issues of significance to the aims of the National Park.

#### **RECOMMENDATION: CALL IN**

**CALL IN REASON :** The proposal is for a temporary wind measuring mast. The proposal raises issues with regard to the visual impact upon the area and in relation to promoting the economic and social development of the Park. Consequently, the proposal raises issues of general significance for the collective aims of the National Park.

[View Planning Application](#)